



B5 DESIGN REVIEW SUBMITTAL  
MAY 11TH, 2018



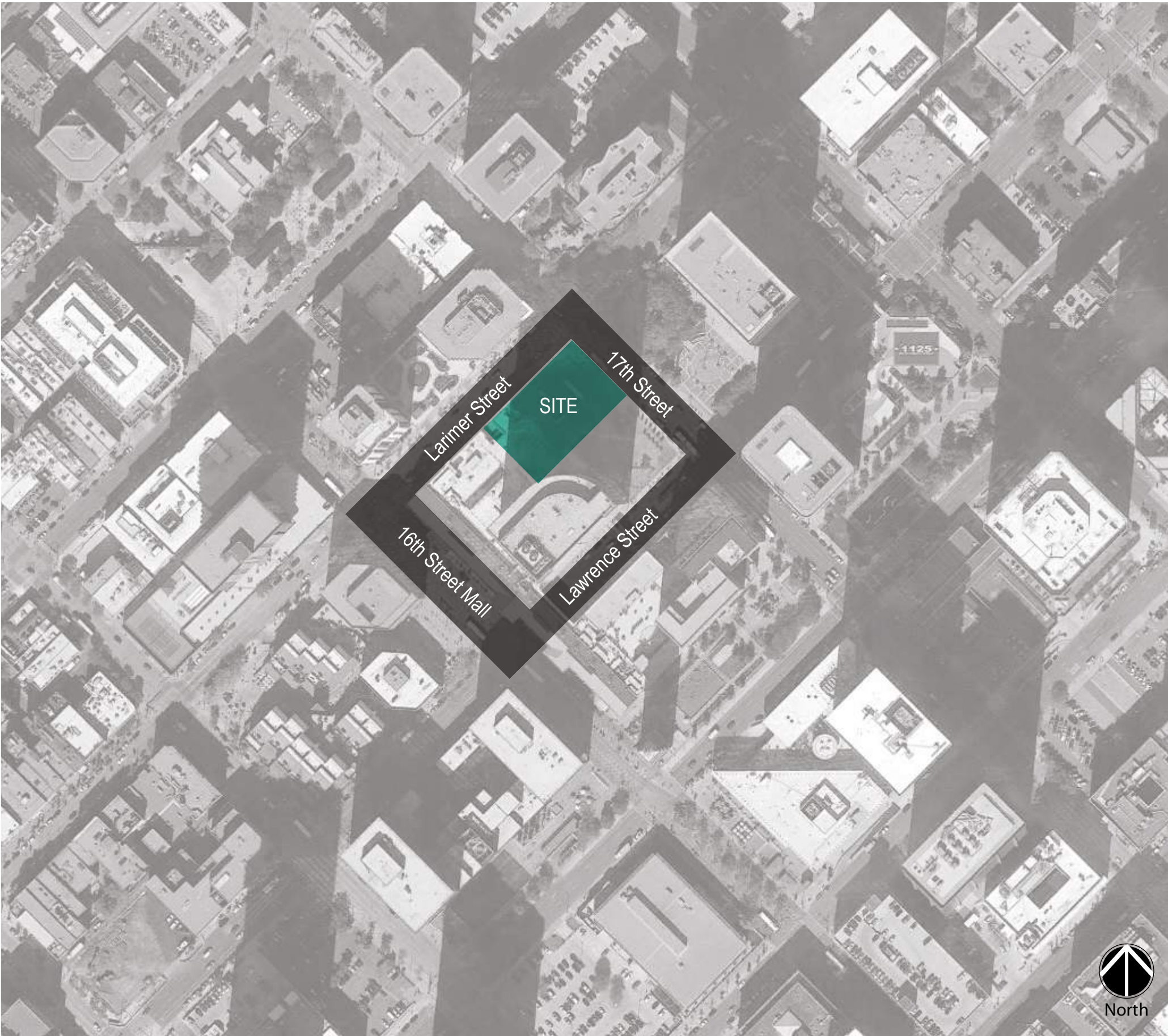
CALLAHAN  
CAPITAL  
PROPERTIES





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## B5 Design Guidelines Requirements Checklist

BUILDING ELEMENTS	TYPICAL REQUIREMENTS	PROJECT COMPLIANCE
oriented entries as possible to ground floor “pedestrian active” uses.	the Mall, giving public access to such uses.	
	<b>Section 2.2:</b> The minimum height of building frontage required to be constructed within or up to the build-to zone is thirty feet (30').	-The tower continues well beyond the 30' required to the top of the parapet at the build-to zone. * See building elevations on pages 11 & 12.
	<b>Section 2.2a:</b> Within 50 feet of the 16th Street Mall no building or portion of building shall exceed 200 feet in height. Buildings located entirely on zone lots of 15,000 square feet or less shall be exempt from this provision.	NOT APPLICABLE
	<b>Section 2.3:</b> Modification of the build-to requirements may be requested or approved by staff if such modification is for either a purpose that 1) furthers the urban design goals of the downtown area, or 2) the provision of a public open space that meets established criteria for the location and design of such space. For the purpose of these standards, public open space is defined as plazas, courts, parks and similar spaces provided for the use and enjoyment of the public.	NOT APPLICABLE
	<b>Section 2.3 a:</b> Build-to requirements will not be enforced in situations involving the restoration of the lower levels or additions to the upper levels of existing buildings.	NOT APPLICABLE
	<b>Section 2.3b:</b> Where buildings are located within or up to the build-to zone adjacent to light rail stops, doors shall be provided giving direct access to that stop.	NOT APPLICABLE
<b>SECTION 2: BUILDING PLACEMENT &amp; ACCESS (CONTINUED)</b>  <b>Arcades and Entries</b> For the purposes of this section, an arcade is a linear unenclosed portion of a building which adjoins, and extends the width of the sidewalk parallel to a public street. It is spatially defined on its exterior face by columns supporting upper floors of the building and on its interior face by the facade of the ground floor  Intent: Allow the exterior face of the column line of an arcade to satisfy the “build-to” requirement if 1) the arcade column line satisfies the architectural scaling requirements of Section 3 within the build-to zone; 2) the arcade is shallow rather than deep in order to create a light and inviting space; and 3) It doesn't separate retail frontage from pedestrian traffic and exposure.	<b>Section 2.1b:</b> The location of the interior enclosure wall of an arcade may be excluded from the 'Build-To' requirements if: 1) the exterior boundary of the arcade is defined by columns located within the Build-To Zone; 2) the exterior plane of the arcade's columns generally continues the plane of the building facade above (Illustration 4A); 3) the columns may not be spaced further than 30 feet apart; 4) the depth of the arcade measured from the front face of the columns to the face of the ground floor facade is no more than two-thirds of the average clear height of the arcade (Illustration 4B); 5) the minimum depth of the arcade is 5 feet, measured from the back face of the columns to the ground floor facade.	NOT APPLICABLE
	<b>Section 2.3c:</b> An arcade may only adjoin the 16 <sup>th</sup> St. Mall so long as its exterior columns are located on or within 18 inches of the 16th St. property line.	NOT APPLICABLE
<b>SECTION 3: ARCHITECTURAL SCALING ELEMENTS</b>  <b>Facade Detail and Variety</b> Intent: Create a varied and human scaled architectural expression at the lower level facades of buildings in order to improve the comfort and interest of the pedestrian environment. Intent: Create texture and relief in the lower facades of buildings, taking advantage of Denver's sunny climate to bring out changes in plane, material and detail through the interplay of light and shadow.  <b>Entries</b> Intent: Emphasize street-related entries to improve the legibility and convenience of the pedestrian environment and to provide variety of architectural expression.	<b>Section 3.1:</b> A minimum of 50% of the glazed area (as measured to the face of the frame of the glazing system) of the ground floor facade shall be set back at least 4" from the solid wall plane of that facade.	-Storefront occurring along Larimer street is held back 4" from the face of column veneer. All other storefront facing streets is recessed back into an arcade condition. * See Retail Level Floor Plan on page 8.
	<b>Section 3.1a:</b> Entries to ground floor pedestrian active uses and building lobbies shall be emphasized through changes in plane, differentiation in material and/or color, greater level of detail, and enhanced lighting, as well as permanent signage.	-The main entrance to Two Tabor occurs at the N.E. corner of the building fronting 17th street and the newly developed Tabor Plaza. This area is emphasized by both a greater articulation and detail as well as it's location at the terminus of the main architectural gesture on the north face of the building. * See renderings of overall building and entryway on pages 16 & 17. -Ground floor tenant entries are clearly designated and appropriately detailed along the street front, with adequate room for signage and lighting. * See elevations and perspective views on pages 13-15.
	<b>Section 3.2:</b> A minimum of 50% of the glazed area (as measured to the face of the frame of the glazing system) of the upper floor facades shall be set back at least 4" from the solid wall plane of that facade.	-The glazing is flush with the facade, and does not meet this requirement. However, the intent of this requirement is to provide visual interest, texture and scale. Mullion spacing along the majority of the building facade helps to provide the scaling elements, but the smoother texture here allows for a greater hierarchy of the grand architectural gestures at the N.E. and S.W. corners of the building. *See renderings of overall building on page 16.
	<b>Section 3.2a:</b> The expression of entry on a large urban building may involve more than the design of the ground floor. The arrangement of fenestration, materials and details should provide emphasize and identity appropriate to the scale of the public environment and the scale of the building.	The main entrance to Two Tabor occurs at the N.E. corner of the building fronting 17th street and the newly developed Tabor Plaza. This area is emphasized by both a greater articulation and detail as well as it's location at the terminus of the main architectural gesture on the north face of the building. * See renderings of overall building and entryway on pages 16 & 17.
	<b>Section 3.3:</b> Ground floor recessed glazing requirement may be waived where it can be shown to adversely affect the implementation of retail or other pedestrian oriented display and access systems.	-For optimal transparency, a flush glazed storefront system is proposed at the ground floor.



## B5 Design Standards Requirements Checklist

BUILDING ELEMENTS	TYPICAL REQUIREMENTS	PROJECT COMPLIANCE
	<b>Section 3.3a:</b> The required area of recessed glazing at the upper levels may be in a single large feature or distributed among numerous glazed areas.	-Areas of recessed glazing at the upper levels have been composed to occur in single large features at the N.E. and S.W. corners of the building.
<b>SECTION 3: ARCHITECTURAL SCALING ELEMENTS (continued)</b>  <b>Facade Detail and Variety</b>  Intent: Architectural scaling techniques shall be used to express an organized variety of architectural divisions and to avoid large areas of undifferentiated or blank facade. Specifying a maximum dimension between architectural elements is not intended to favor a repetitive spacing, but merely to insure the occurrence of a minimum amount of change.	<b>Section 3.1b &amp; 3.2b:</b> For any facade adjacent to a public street, each floor must include a pattern of at least three scaling elements, of which at least one must be from Group Two (others may be from Group One) and one must repeat horizontally (others may repeat vertically). (Illustration 5) 3.1b: Ground floor to second floor 3.2b: Third floor to 80'-0"	-Each facade employs several methods of scaling measures, however, these techniques do not strictly adhere to the prescriptive approach outlined in this section. The design uses a repeating array of vertical mullions which maintain a tight spacing to emphasize a vertical proportion across the face of the building. A series of horizontal mullions and shadow box conditions are used at each floor level in lieu of material banding as a method of keeping these bands more subtle. These details create a more graceful approach to the play of light and shadow as described in this code. These areas were deliberately kept subtle in order to emphasize the hierarchy of the corner elements which use greater relief and detail, and highlight the dialogue between the curved geometry on the plaza side of the building to the vertical elements of the street sides. We feel the facades successfully provide elements of architectural scale and proportion as it relates to the intent of this section.
	<b>Section 3.2c:</b> A large area change in facade form or architectural expression incorporating a minimum of two bays in width, and two floors in height reduces the required scaling elements by one within the area of change.	NOT APPLICABLE
<b>SECTION 3: ARCHITECTURAL SCALING ELEMENTS</b>  <b>Facade Detail and Variety — Relationship to Existing Buildings of Architectural and/or Historic Merit</b>  Intent: Relate new development to existing historic buildings in order to respect the quality of Downtown's historic heritage and reinforce the significance of the existing buildings. Relationships should be developed through similar proportions, rhythms and dimensions rather than imitation of style.  Intent: Coordinate existing and new development to achieve a larger 'sense of place,' whether it is the reinforcement of the particular character of a street, the definition of a public space, the accentuation of a special building, or the creation of a gateway or district.	<b>Section 3.3b:</b> If a proposed building is adjacent to an existing building that has been designated as a National Register or Denver Landmark building or contributing structure (subject to Section 59-368(1) Design Standards), the proposed building facade shall reflect the height and other major architectural features (below 80') of the adjacent building by at least two of the following facade elements: a step-back in the building form (min. 5') reflecting the height of the existing building; material or color similarities; similar window pattern, alignment, or proportions; reveals, belt courses, or bands of contrasting material or color in alignment with major features of the adjoining building.	NOT APPLICABLE
	<b>Section 3.3c:</b> The above requirement does not apply when the proposed project consists of restoring the original features of an existing building.	NOT APPLICABLE
<b>SECTION 3: ARCHITECTURAL SCALING ELEMENTS (continued)</b>  <b>Materials</b> Intent: Reinforce the masonry traditions of Denver and regional architecture. Help create human scaled building facades by encouraging smaller material modules.	<b>Section 3.1c:</b> All floors to 80 feet are required to meet the same material standards; see Section 3.2d. (Illustration 7)	-All floors are of the same material both above and below 80'-0", see response to 3.2d
	<b>Section 3.2d:</b> All floors to 80 feet: Street facing facade areas, other than glazed areas, shall be constructed of masonry materials or architectural metals. For the purposes of this section masonry materials are defined as: stone, brick, clay units, terra cotta, architectural precast concrete, cast stone, and prefabricated brick panels. Not included in this definition are: cast-in-place concrete, concrete masonry units (concrete block), and tile. Architectural metals are defined as metal panel systems (either coated or anodized), metal sheets with expressed seams, metal framing systems, or cut, stamped, or cast ornamental metal panels. Not included in this definition are ribbed or corrugated metal panel systems. Material modules, other than glazing systems, shall not exceed either 5' horizontally, or 3' vertically without the clear expression of a joint.	The design guidelines section states that "Materials are not limited to masonry. However, the form, scale, detail, texture, and quality of any material used in close proximity to the pedestrian environment should be considered in relation to human interaction." -The tower and lower levels of Two Tabor are the result of careful consideration of the form, scale and detail of the storefront and curtain wall systems of the structure to create a modern compliment to Denver's primarily masonry mid-rise architecture, though the building is not adjacent to any historic structures. The design of Two Tabor responds to its location. 17 <sup>th</sup> Street has characteristics of larger, more urbane environments. The architecture tends to be more progressive than elsewhere in downtown. The project is a contemporary reinterpretation of the successful elements of Denver's masonry architecture traditions that makes use of materials and methods appropriate to its 17 <sup>th</sup> street site. *See renderings on pages 16 & 17.
	<b>Section 3.3c:</b> Material requirements and limitations do not apply to conditions where the repair or restoration of an existing building requires replacement or replication of existing materials.	NOT APPLICABLE
	<b>Section 3.3d:</b> "Architectural" cast in place concrete may be acceptable with specific review of finish specifications to ensure a quality, highly finished surface.	NOT APPLICABLE
<b>Section 4: Wind Mitigation</b>  <b>Generation of excessive wind drafts by tall buildings</b> Intent: Ensure the mitigation of excessive, building generated wind drafts through the encouragement of modulated building forms that disrupt wind flow and diminish velocity.	<b>Section 4a:</b> Buildings that are built no more than twenty feet (20') from any public right-of-way and that are either over 400 feet in height or are more than 200 feet higher than the average height of structures within 200 feet of any part of the proposed building are required to create step backs in the building facade that faces the right-of-way totaling not less than ten feet (10') extending across 100% of the building facade occurring between fifteen feet (15') and eighty feet (80') above the public sidewalk. (Illustration 8)	-A wind study will be conducted, and will include study of the pedestrian environment. If such study warrants major revisions to the design, such changes will be reviewed with the Planning Department.

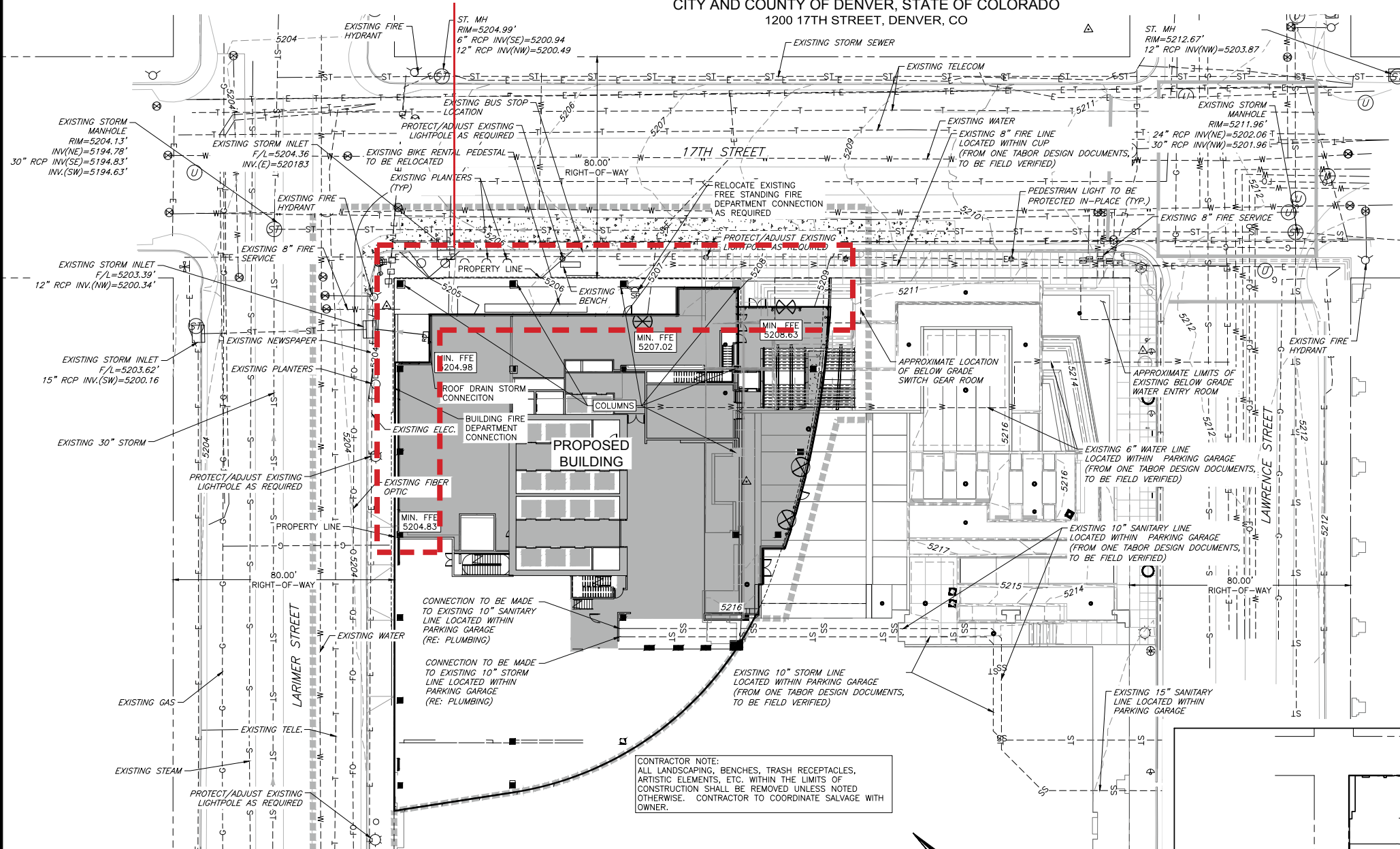


# TWO TABOR CENTER

SITUATED IN THE EAST 1/2 OF THE WEST 1/2 OF SECTION 4, TOWNSHIP 4 SOUTH,  
RANGE 68 WEST OF THE 6TH P.M.,  
CITY AND COUNTY OF DENVER, STATE OF COLORADO  
1200 17TH STREET, DENVER, CO

## SECTION 2.1

EXISTING	LEGEND	PROPOSED
---	PROPERTY LINE	---
---	RIGHT-OF-WAY LINE	---
---	SECTION LINE	---
---	EASEMENT	---
---	RETAINING WALL	---
---	CURB & GUTTER	---
---	HANDICAP RAMPS	---
---	UTILITY CROSSING	---
---	STORM SEWER	---
---	STORM MANHOLE	---
---	ROOF DRAIN	---
---	STORM INLET	---
---	FLARED END SECTION	---
---	SANITARY SEWER	---
---	SANITARY MANHOLE	---
---	CLEAN OUT	---
---	CHILLED WATER	---
---	WATER LINE	---
---	WATER VALVE	---
---	FIRE HYDRANT	---
---	WATER METER	---
---	IRRIGATION LINE	---
---	IRRIGATION CONTROL	---
---	OVERHEAD ELECTRIC	---
---	ELECTRIC LINE	---
---	LIGHT POLE	---
---	POWER POLE	---
---	ELECTRIC METER	---
---	TELEPHONE LINE	---
---	TELEPHONE PEDESTAL	---
---	CABLE TV	---
---	GAS LINE	---
---	SIGN	---
---	MONITOR WELL	---
---	DESCRIPTIONS	---
---	SPOT ELEVATIONS	---
---	LIMITS OF IMPROVEMENTS	---



**CONTRACTOR NOTE:**  
ALL LANDSCAPING, BENCHES, TRASH RECEPTACLES, ARTISTIC ELEMENTS, ETC. WITHIN THE LIMITS OF CONSTRUCTION SHALL BE REMOVED UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE SALVAGE WITH OWNER.

**BASIS OF BEARINGS**  
BEARINGS ARE BASED ON THE WESTERLY RIGHT-OF-WAY LINE OF 17TH STREET BEING MONUMENTED BY A FOUND NAIL W/ DISK ILLEGIBLE AT THE NORTHWEST CORNER OF LAWRENCE STREET AND 17TH STREET AND A FOUND NAIL W/ DISK (A 1" X 1" WITNESS CORNER) AT THE SOUTHWEST CORNER OF LAWRENCE STREET AND 17TH STREET. ASSUMED TO BEAR S43°26'04"E.

**BENCHMARK**  
ELEVATIONS ARE BASED ON THE CITY AND COUNTY OF DENVER BM #16C A CITY AND COUNTY OF DENVER BRASS CAP LOCATED AT THE EAST CORNER, BACK OF A STORM INLET LOCATED AT THE INTERSECTION OF 17TH STREET AND LAWRENCE STREET.  
ELEV.=5212.20' (NAVD1988) DATUM.

**FIRE FLOW DATA BLOCK**

TOTAL FIRE FLOW REQUIRED FOR THIS SITE IS 1,500 GPM  
MINIMUM @ 20 PSI RESIDUAL PRESSURE.

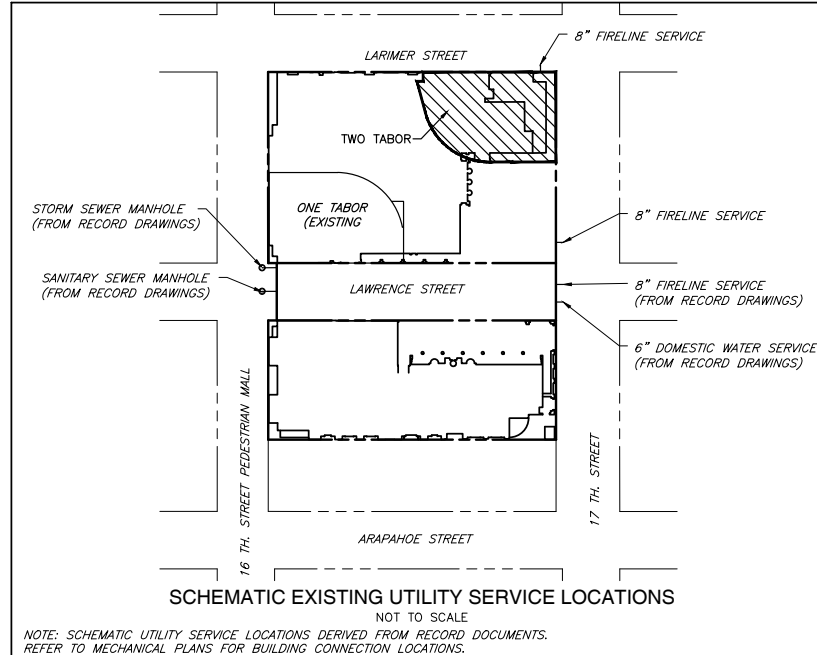
THIS FLOW MUST BE PROVIDED FROM A MINIMUM OF 1 FIRE HYDRANT.  
INDIVIDUALLY, EACH FIRE HYDRANT MUST SUPPLY 1500 GPM MINIMUM @ 20 PSI RESIDUAL PRESSURE.

CODE USED FOR ANALYSIS: 2015 IFC WITH 2016 DENVER AMENDMENTS.  
OCCUPANCY GROUP(S): BUSINESS GROUP B  
CONSTRUCTION TYPE(S): IA  
FIRE FLOW CALCULATION AREA: 62,638+/- GSF (3 LARGEST SUCCESSIVE FLOORS)  
THIS BUILDING IS FULLY SPRINKLERED.



CALL 811 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES

MARTIN/MARTIN ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS. THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE SIZE, MATERIAL, HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.



NOTE: SCHEMATIC UTILITY SERVICE LOCATIONS DERIVED FROM RECORD DOCUMENTS. REFER TO MECHANICAL PLANS FOR BUILDING CONNECTION LOCATIONS.

- UTILITY NOTES:**
1. THE CONTRACTOR SHALL VERIFY ELEVATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY CONFLICTS.
  2. ALL EXISTING AND PROPOSED MANHOLES, VAULTS, VALVE BOXES, HAND-HOLES, ETC., SHALL BE ADJUSTED TO PROPOSED GRADES.
  3. THE CONTRACTOR TO COORDINATE UTILITIES AT BUILDING WITH PLUMBING PLANS. NOTIFY ENGINEER OF ANY DISCREPANCIES.
  4. RIM ELEVATIONS SHOWN ON THESE PLANS ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. THE PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS TO ADJUST THE MANHOLE FRAME AND COVER TO THE REQUIRED FINAL GRADE. THE PIPELINE CONTRACTOR MAY NEED TO REMOVE AND REPLACE THE PRECAST CONE SECTION SUCH THAT THERE IS NO MORE THAN EIGHTEEN (18) INCHES FROM FINISHED GRADE TO THE TOP OF THE MANHOLE CONE SECTION.
  5. THE CONTRACTOR SHALL COORDINATE GAS, ELECTRIC AND COMMUNICATIONS SERVICES WITH UTILITY PROVIDERS. LOCATIONS OF GAS, ELECTRIC AND COMMUNICATIONS LINES SHALL BE COORDINATED WITH PROPOSED IMPROVEMENTS.
  6. SEE TEP PLANS FOR STORM SEWER DESIGN. SEE WATER PLANS FOR WATER LINE DESIGN.
  7. STORM SEWER CONSTRUCTION SHALL BE PER CDD STANDARDS & SPECIFICATIONS.
  8. THE CONTRACTOR SHALL ADJUST ALL MANHOLE COVERS, VALVE BOXES, UTILITY BOXES, ETC., TO MATCH FINAL GRADE.
  9. THE CONTRACTOR SHALL COORDINATE ALL UTILITY LINE CONNECTIONS AT BUILDING WITH THE MECHANICAL, ELECTRICAL AND PLUMBING PLANS PRIOR TO CONSTRUCTION. THE ENGINEER SHALL BE PROPERLY NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
  10. PLAN BASED ON SURVEY PROVIDED BY MARTIN/MARTIN DATE SEPTEMBER 19, 2007 AND MAPPED UTILITIES PROVIDED BY DENVER COUNTY DATE DECEMBER 07, 2016.
  11. MAPPED UTILITIES BASED UPON "ONE TABOR" DESIGN DOCUMENTS DATED 1983.

**MARTIN/MARTIN CONSULTING ENGINEERS**  
12499 WEST COLEMAN AVENUE, LAKEWOOD, COLORADO 80215  
303.431.6100 MARTINMARTIN.COM

**TWO TABOR CENTER**

**GRADING & UTILITY PLAN**

No.	Issue / Revision	Name	Date

Job Number 17,0929  
Project Manager P.BUCKLEY  
Design By D.BEARSE  
Drawn By M.CHAPA  
Principal in Charge M.SCHLAGETER

THE DESIGN SHOWN HEREIN INCLUDING ALL TECHNICAL DRAWINGS, SPECIFICATIONS, AND NOTES, IS THE PROPERTY OF MARTIN/MARTIN CONSULTING ENGINEERS AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE TITLE OF THIS PERMIT. NO PART OF THIS DESIGN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MARTIN/MARTIN CONSULTING ENGINEERS.

Sheet Number: **C100**

PLOT DATE: Wednesday, February 28, 2018 2:46 PM LAST SAVED BY: DBEARSE  
DRAWING LOCATION: G:\SCHLAGETER\17,0929-Two Tabor Center\PLANS\CONCEPT\GRADING & UTILITY PLAN.dwg



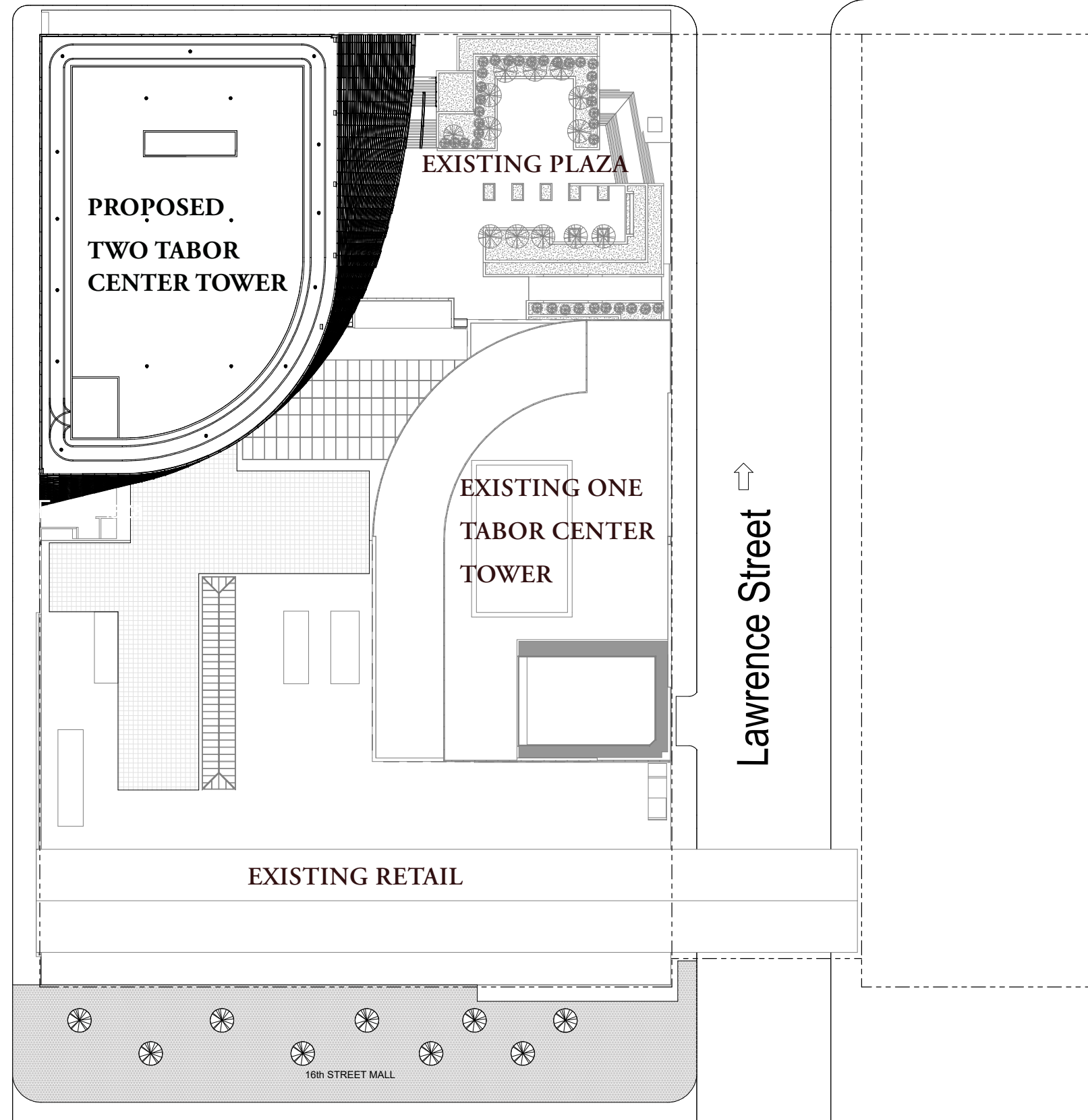
## SURVEY INFORMATION

MAY 11TH, 2018



17th Street

↔ Larimer Street



↕ Lawrence Street

EXISTING RETAIL

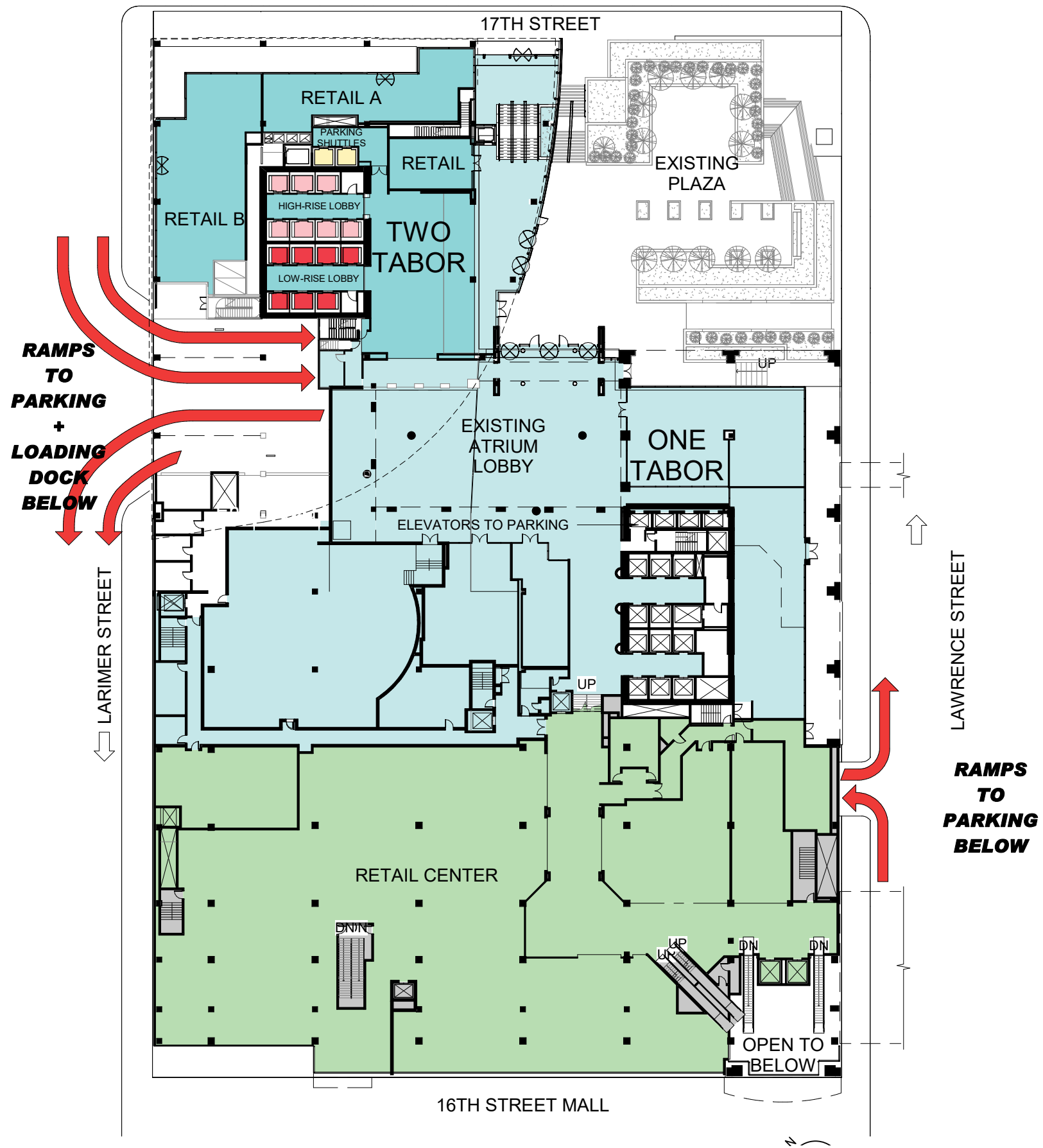
16th Street

16th STREET MALL

N.T.S.

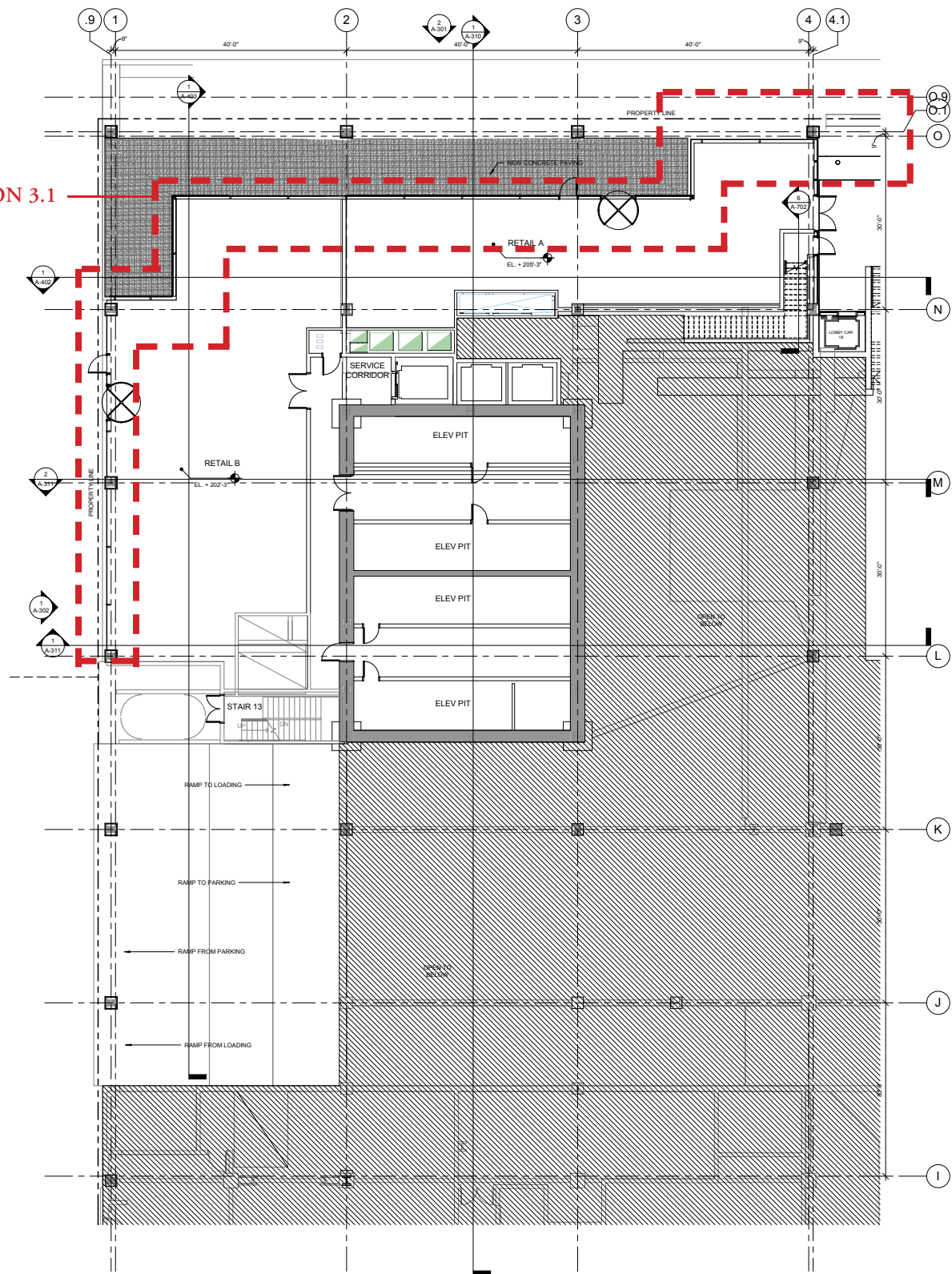




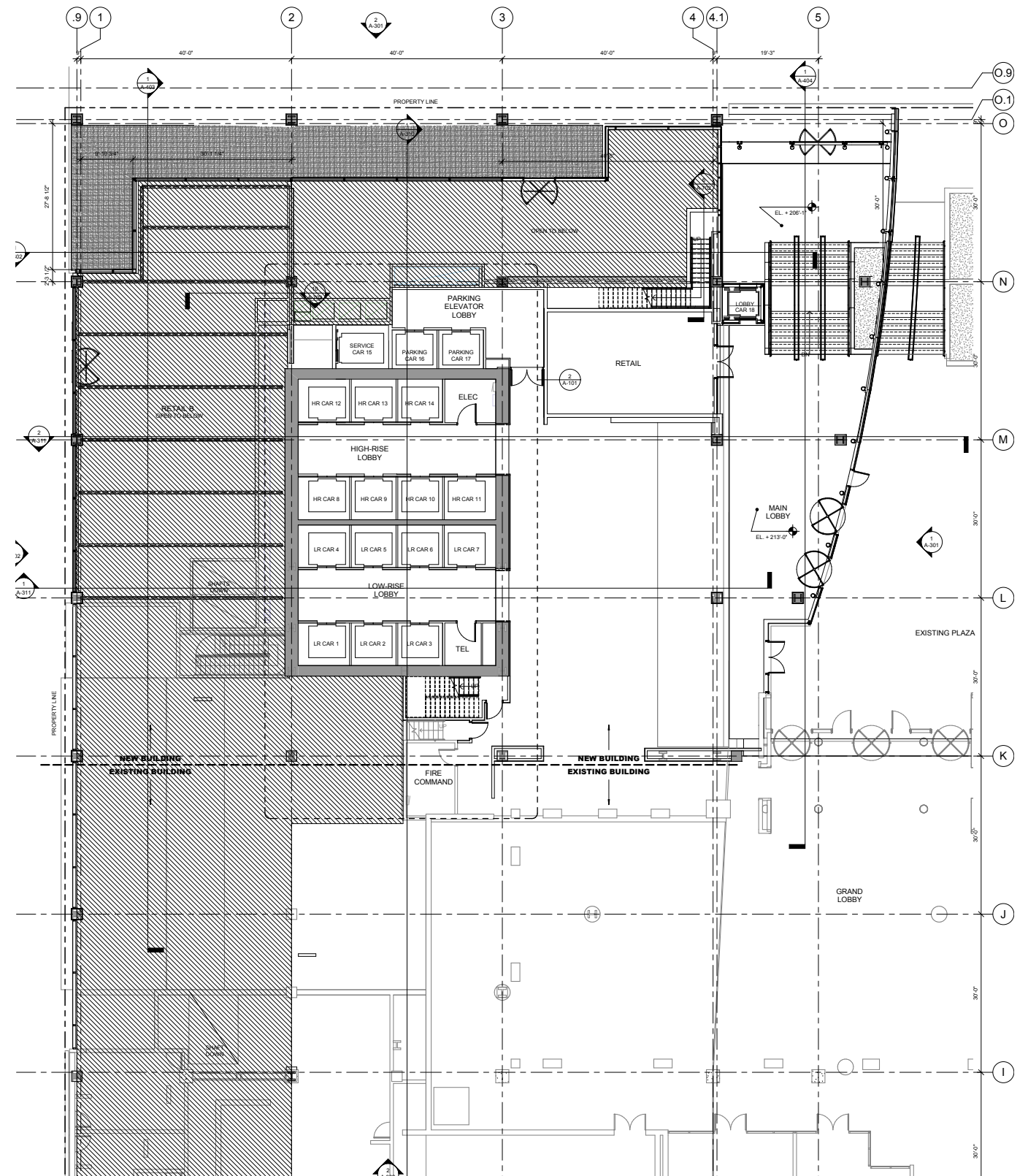




SECTION 3.1



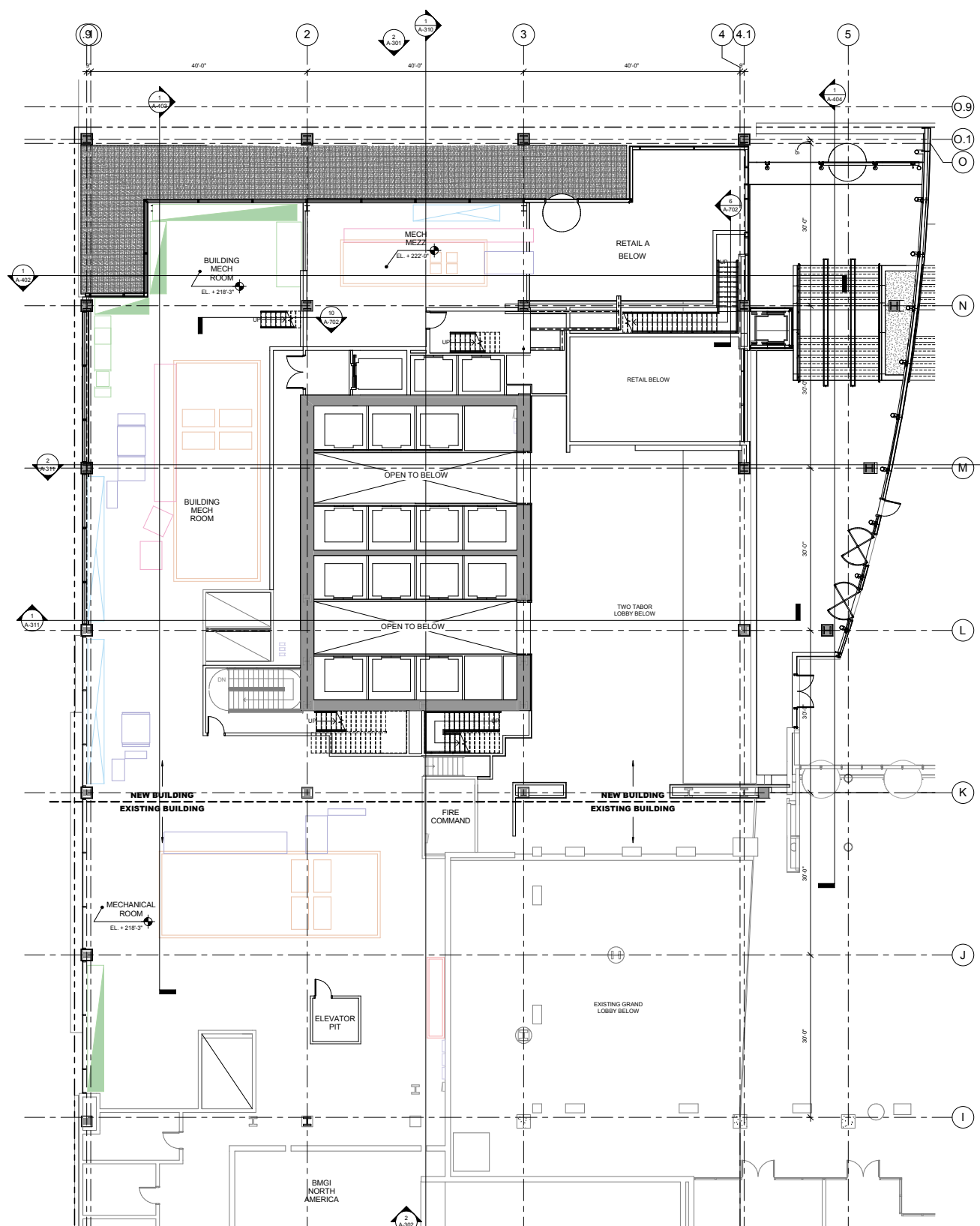
RETAIL LEVEL FLOOR PLAN



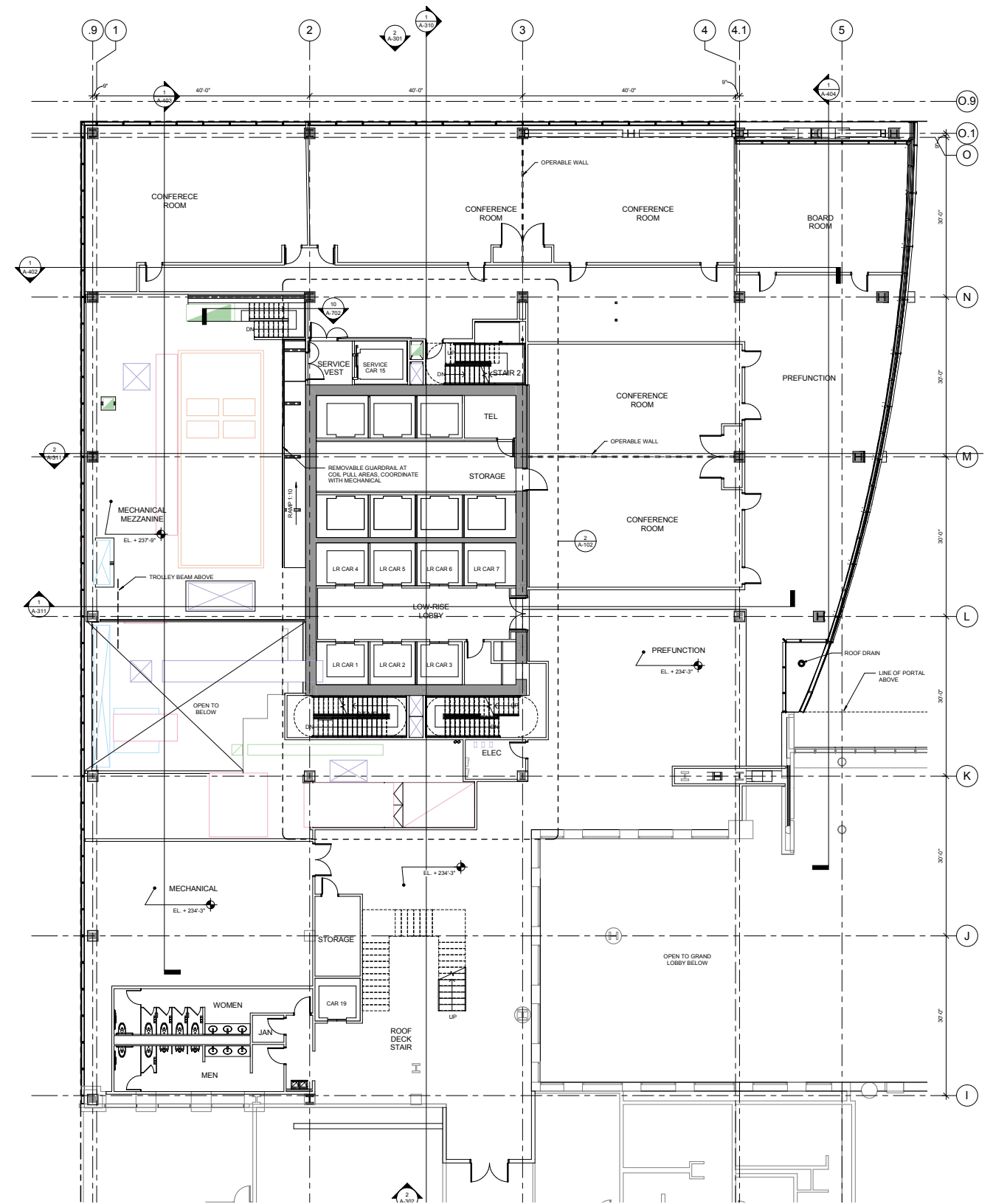
LOBBY LEVEL FLOOR PLAN







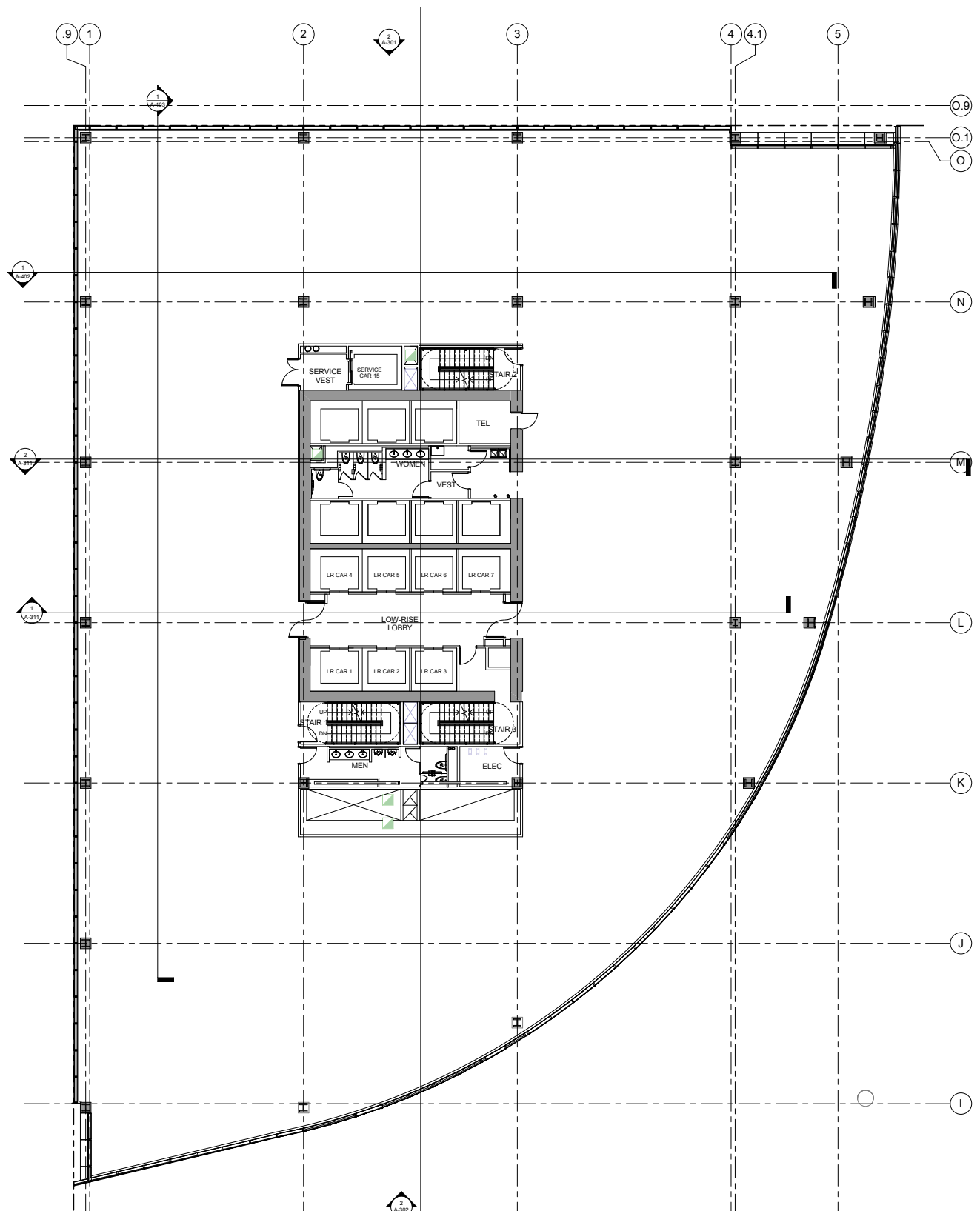
MECHANICAL MEZZANINE FLOOR PLAN



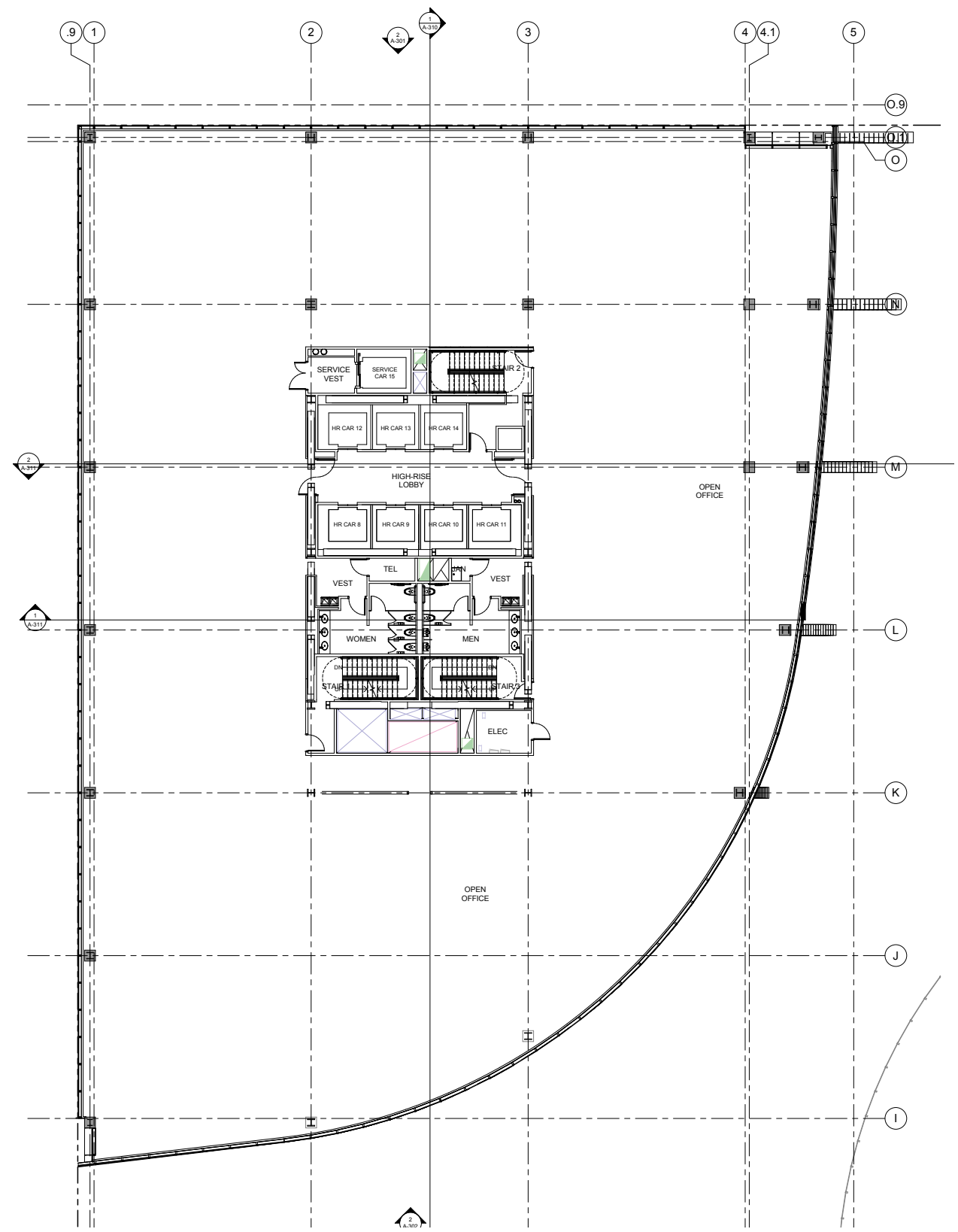
LEVEL TWO FLOOR PLAN



N.T.S.



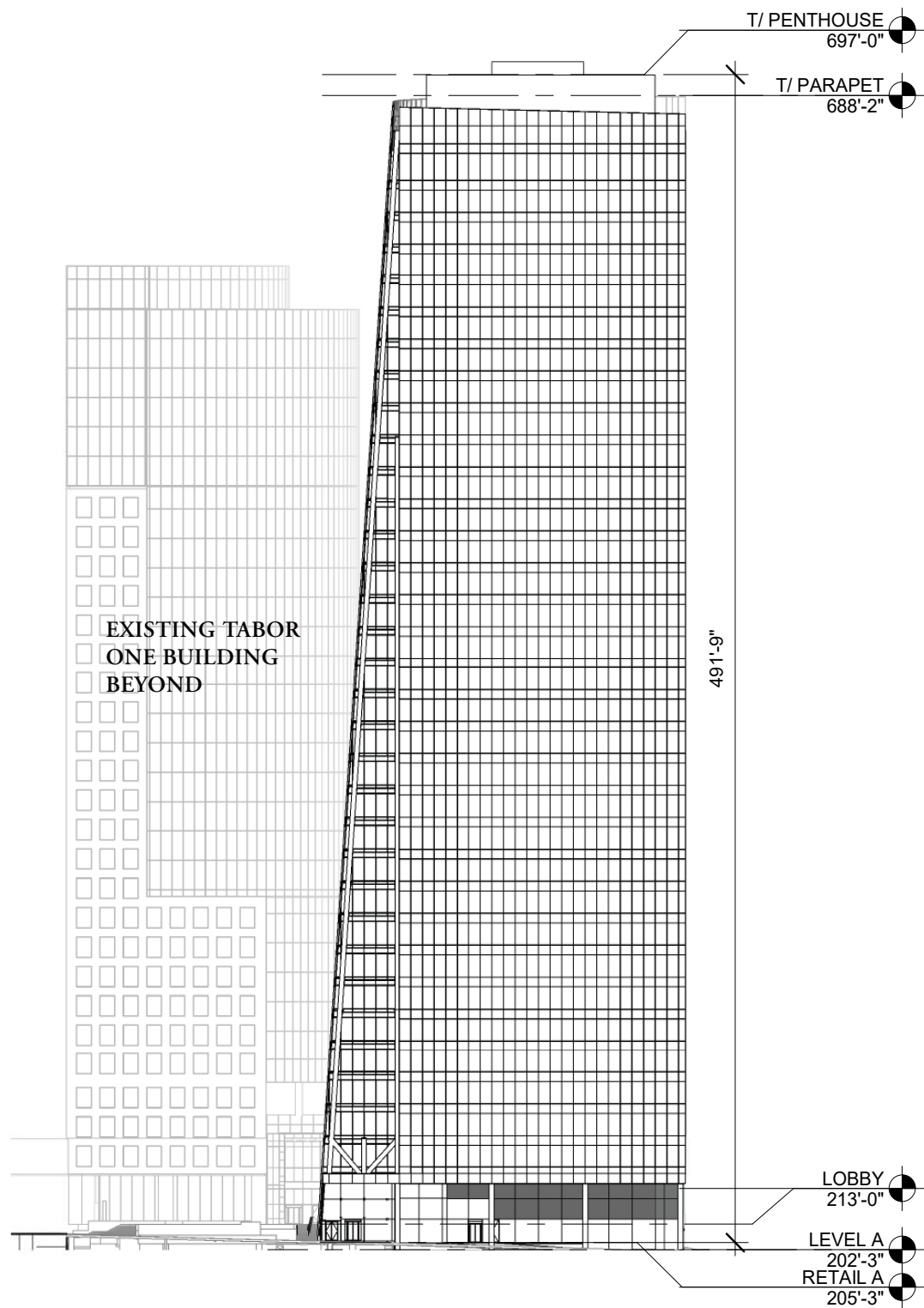
TYPICAL LOW-RISE FLOOR PLAN



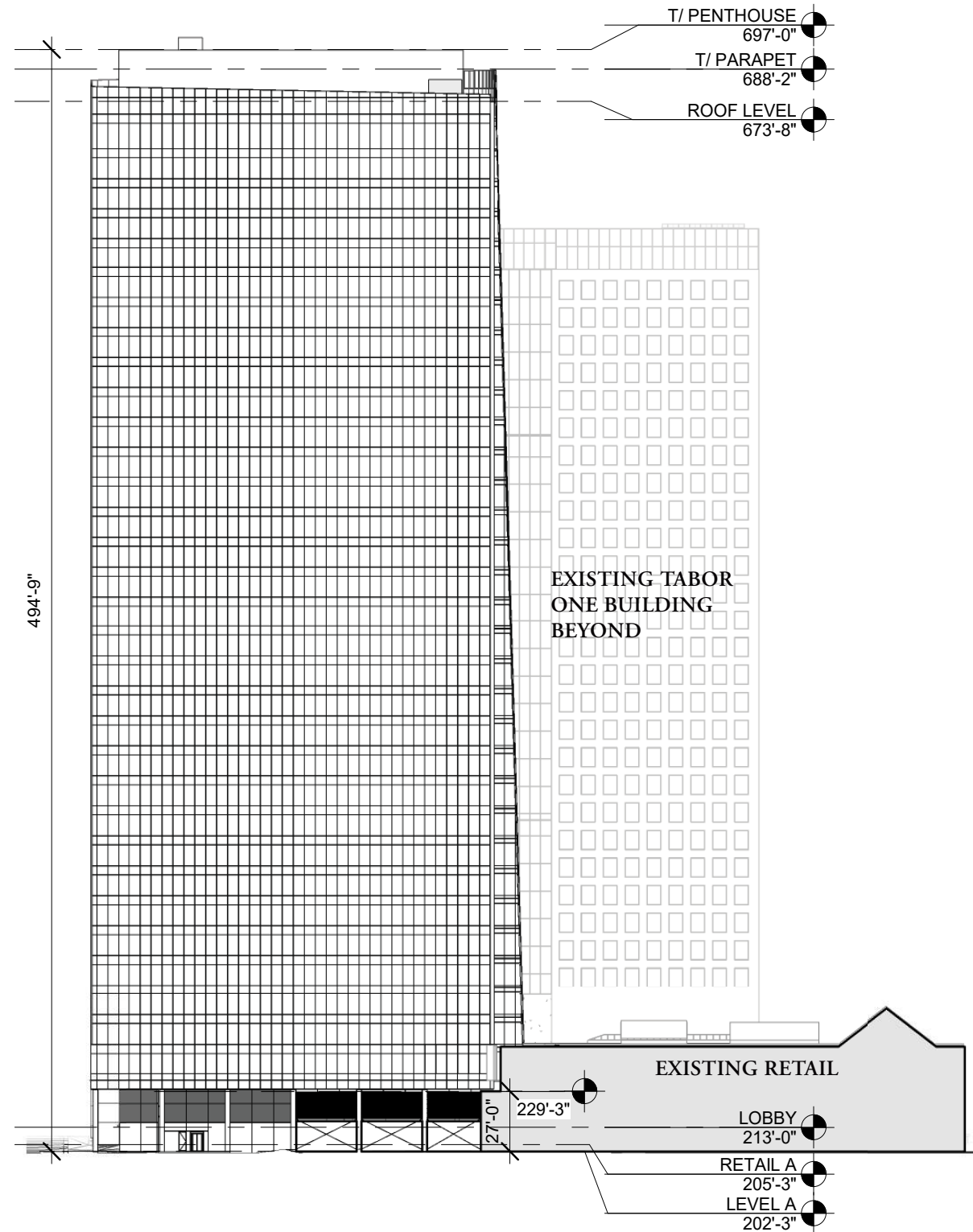
TYPICAL HIGH-RISE FLOOR PLAN

N.T.S.  North

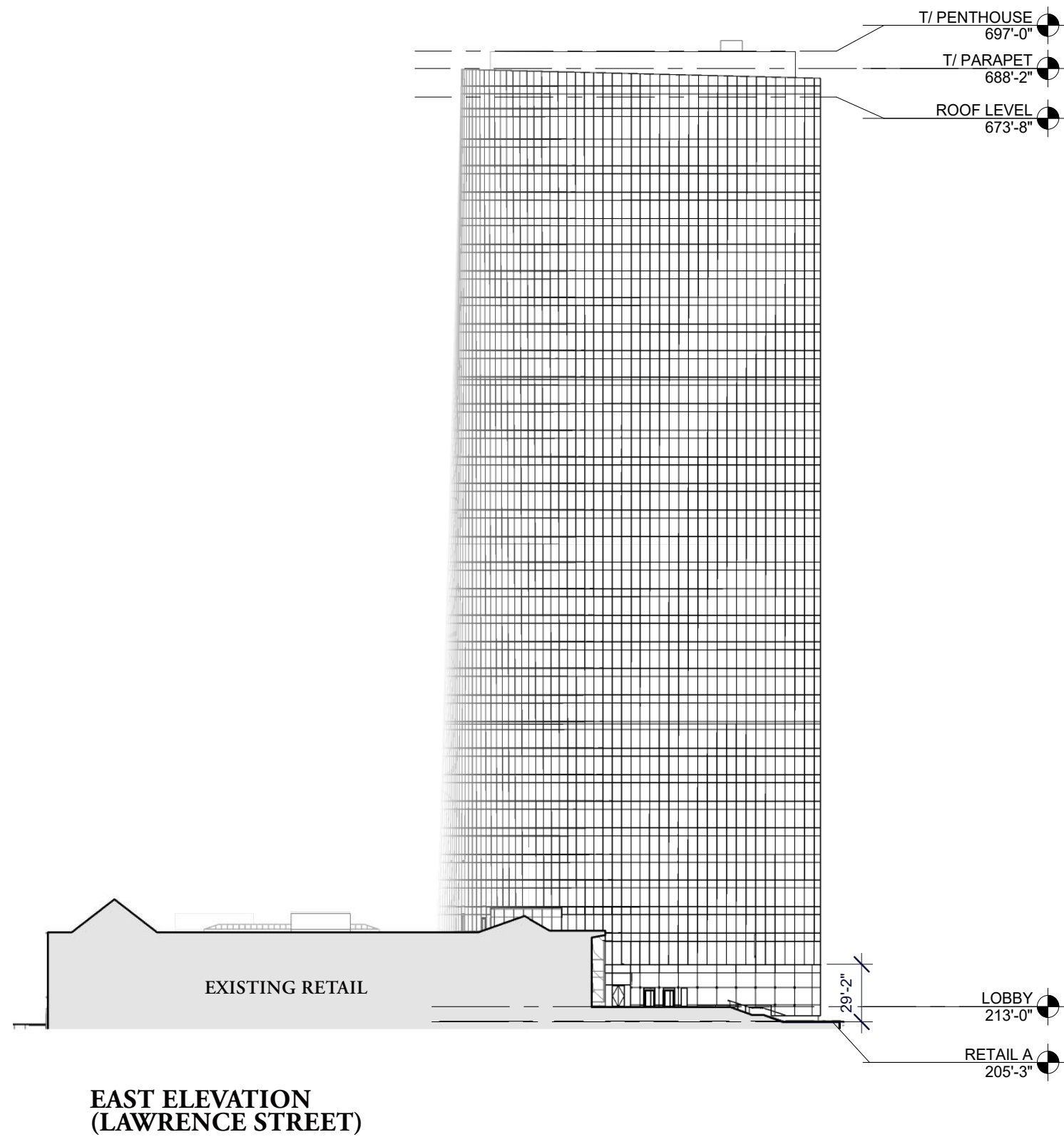
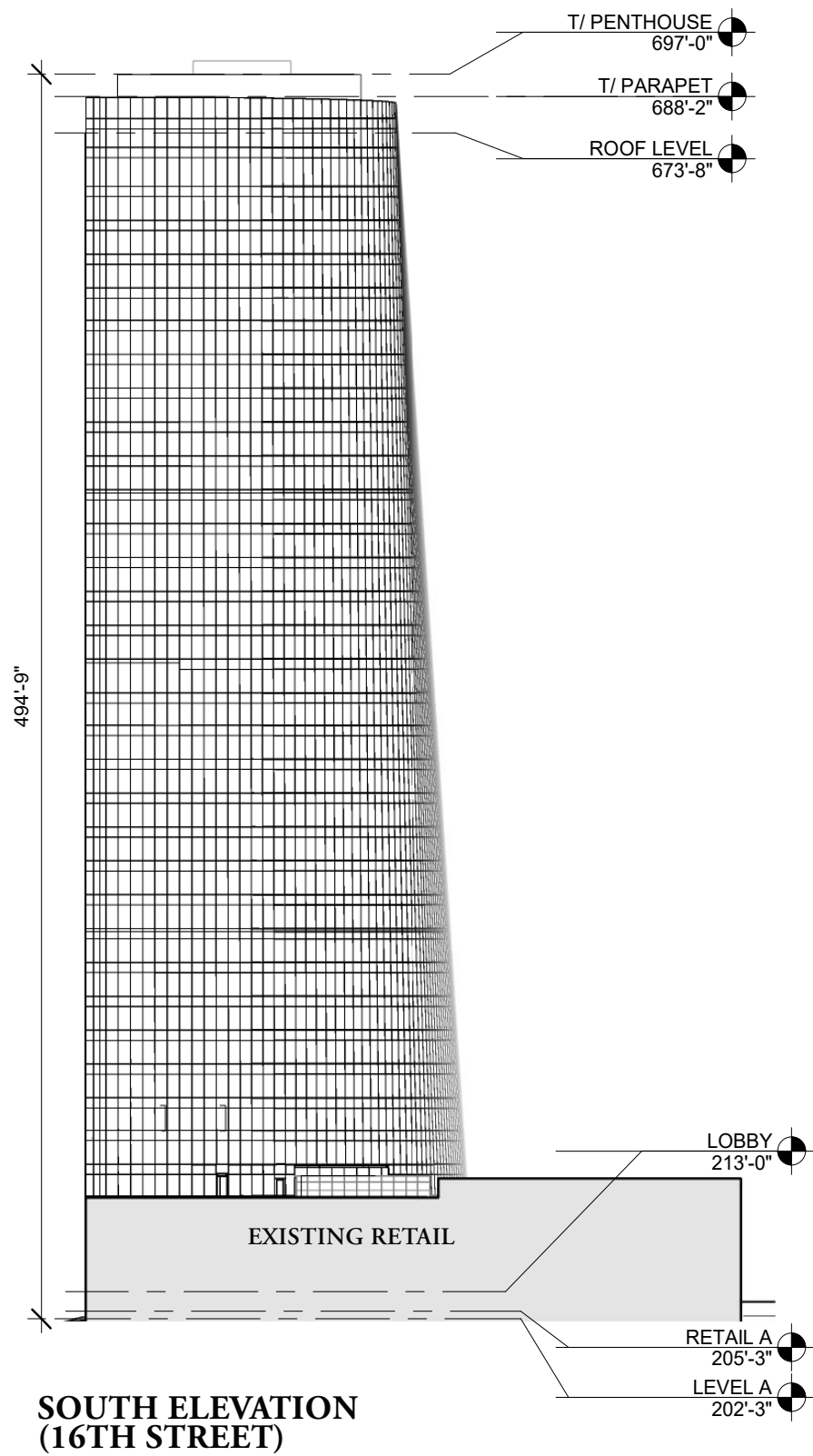




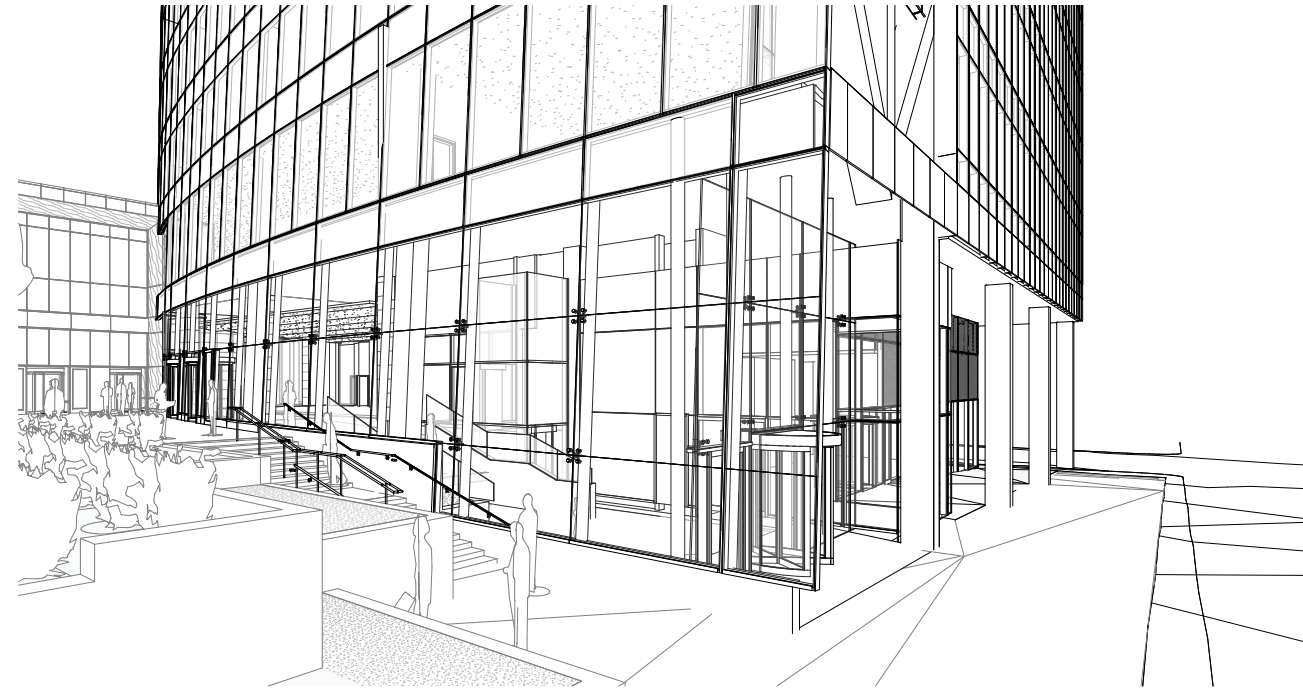
**NORTH ELEVATION  
(17TH STREET)**



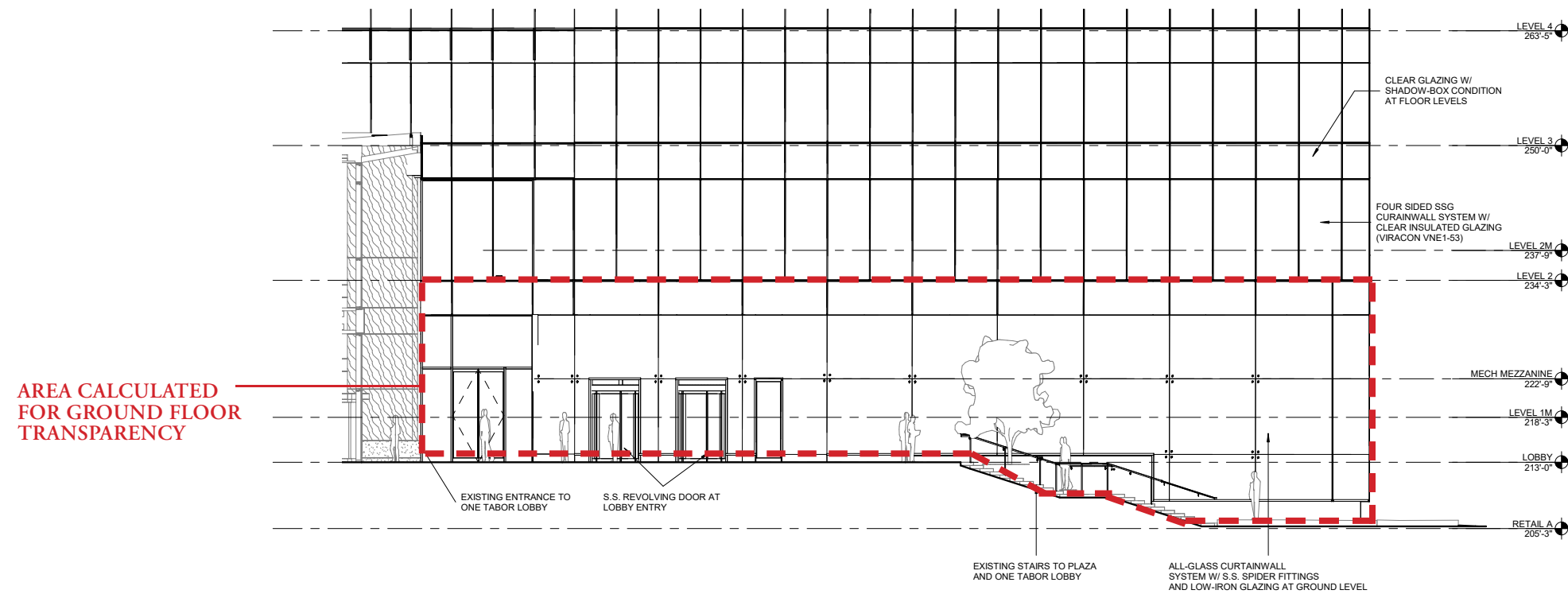
**WEST ELEVATION  
(LARIMER STREET)**



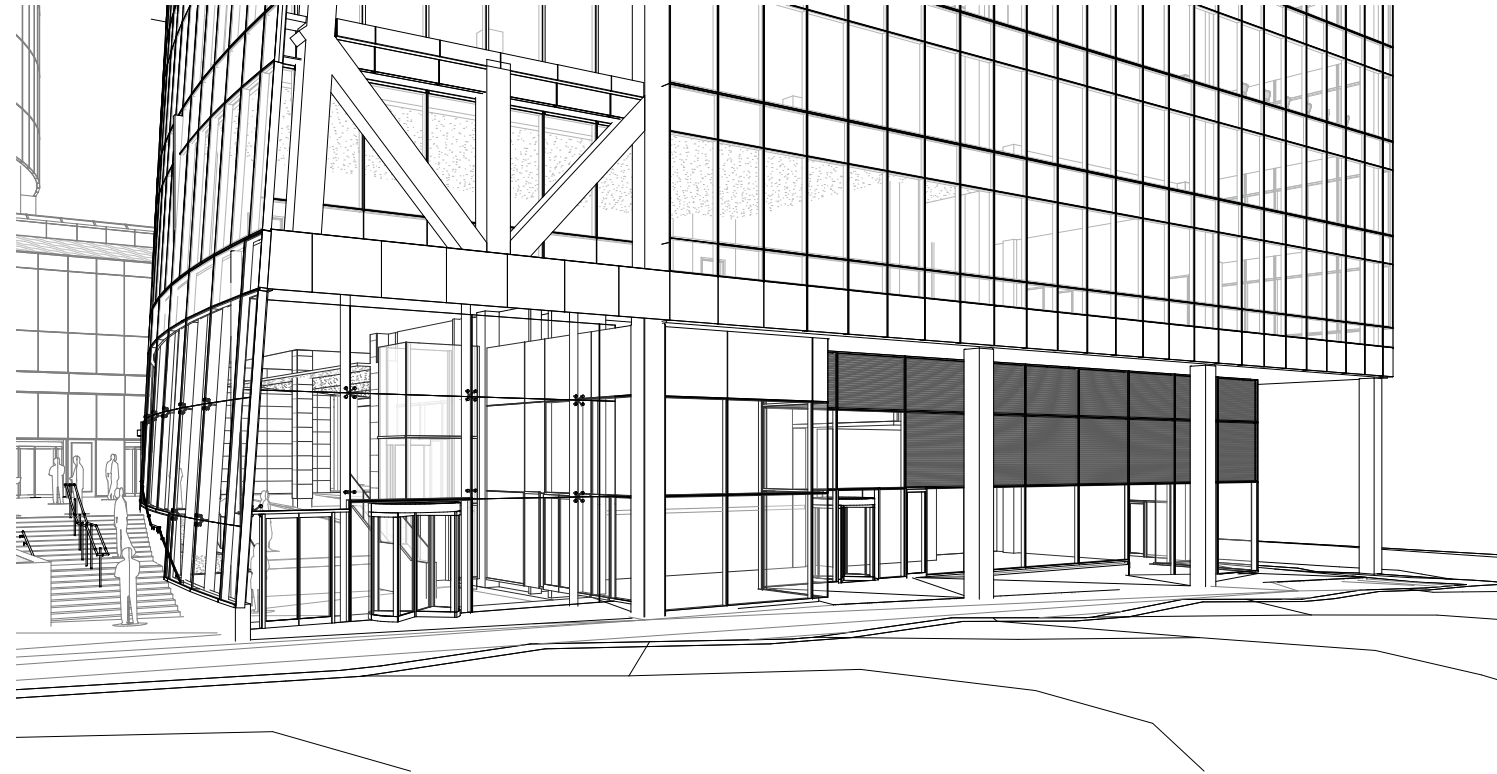




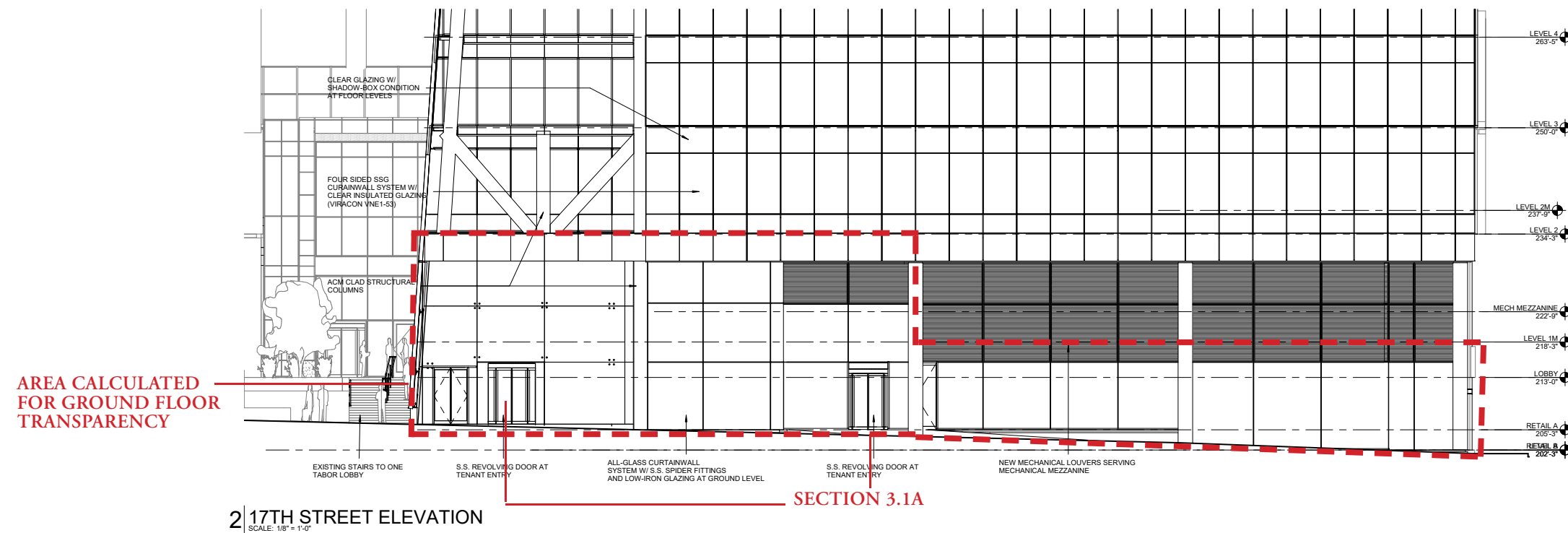
1 | PLAZA ENTRANCE  
SCALE:



2 | PLAZA ELEVATION  
SCALE: 1/8" = 1'-0"



1 | 17TH STREET ENTRANCE  
SCALE:



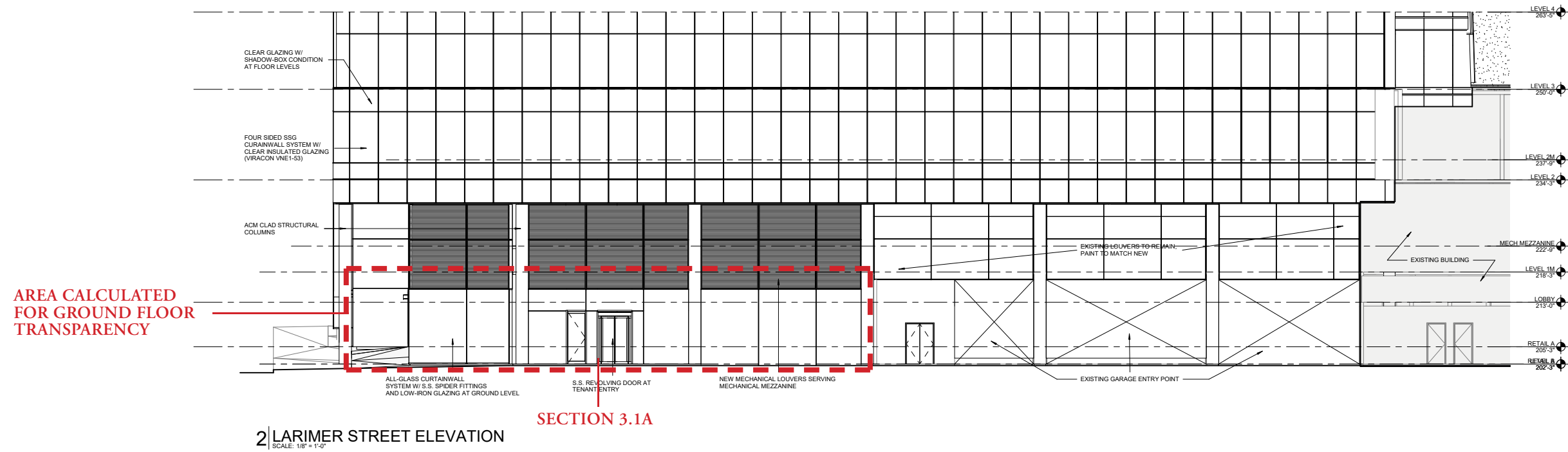
2 | 17TH STREET ELEVATION  
SCALE: 1/8" = 1'-0"

SECTION 3.1A





1 | CORNER OF 17TH & LARIMER  
SCALE:



AREA CALCULATED FOR GROUND FLOOR TRANSPARENCY

2 | LARIMER STREET ELEVATION  
SCALE: 1/8" = 1'-0"

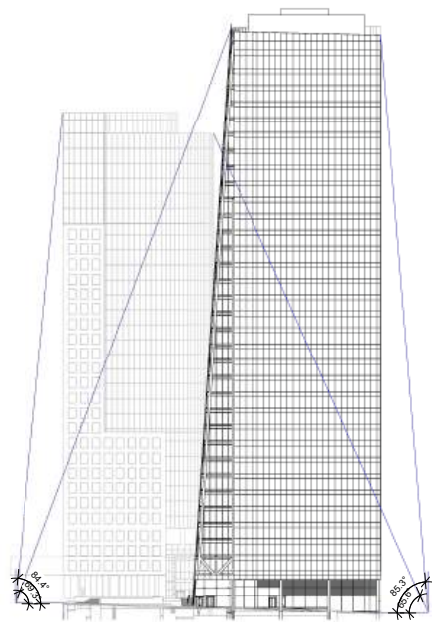




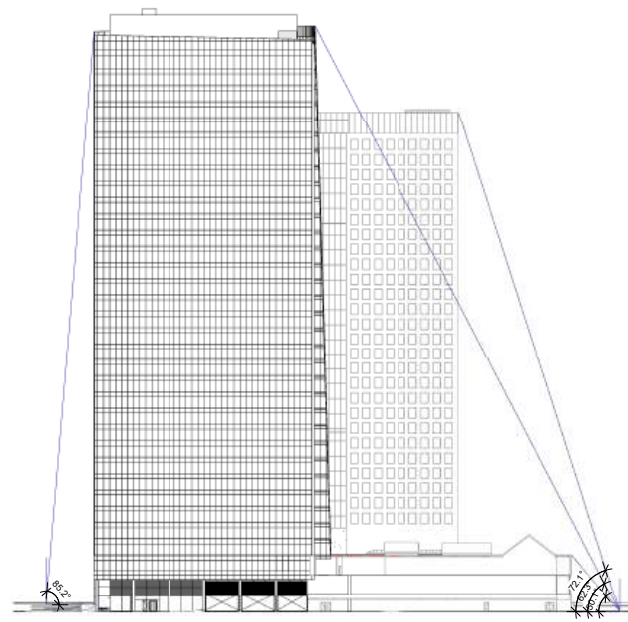




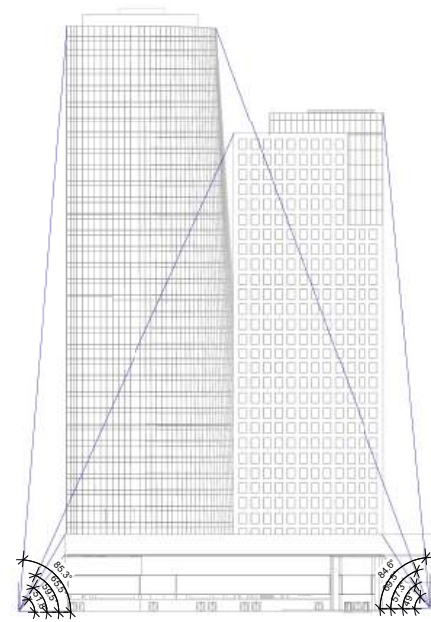




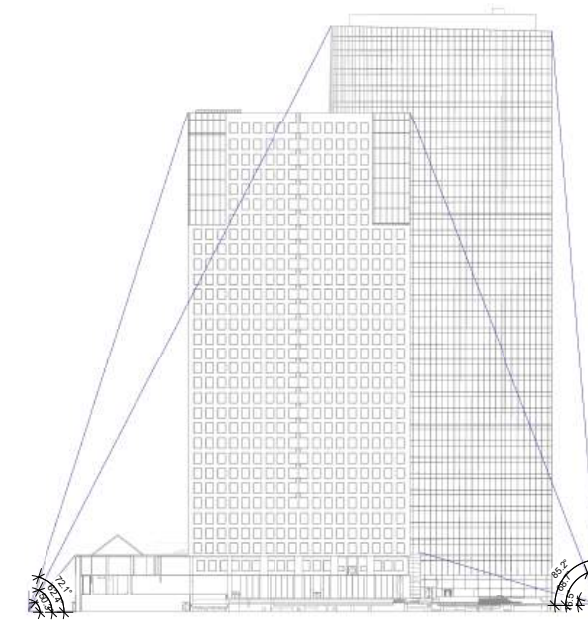
A | 17TH ST. WALDRAM CALC  
SCALE: 1" = 60'-0"



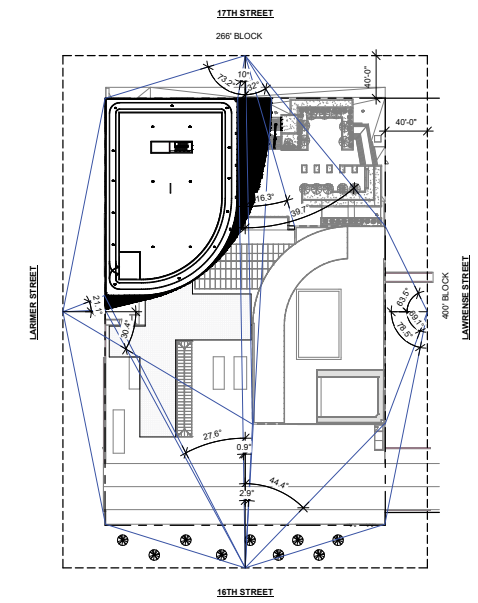
B | LARIMER ST. WALDRAM CALC  
SCALE: 1" = 60'-0"



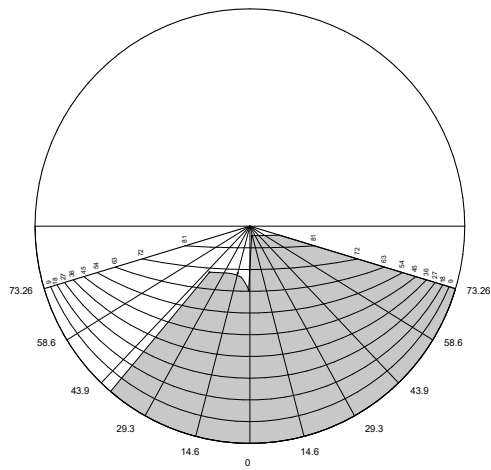
C | 16TH ST. WALDRAM CALC  
SCALE: 1" = 60'-0"



D | LAWRENCE ST. WALDRAM CALC  
SCALE: 1" = 60'-0"



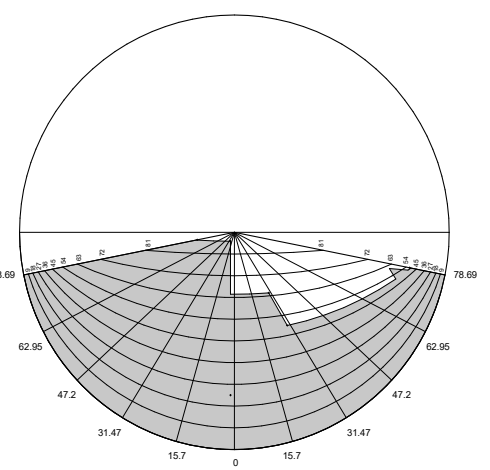
I | Waldram Diagram Site Plan  
SCALE: 1" = 60'-0"



**31.5% LIGHT EXPOSURE**

31.5 FREE BLOCKS  
68.5 OCCUPIED BLOCKS

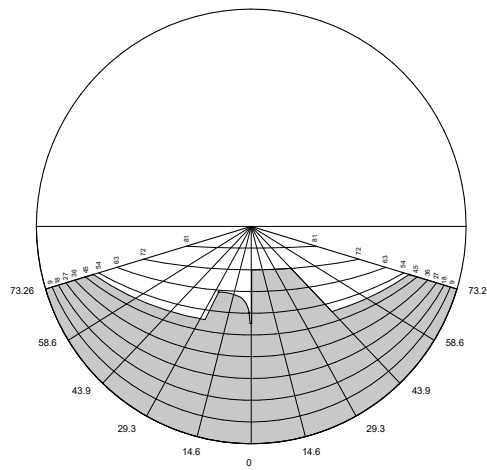
E | 17TH ST. WALDRAM DIAGRAM  
SCALE: 1/2" = 1'-0"



**22% LIGHT EXPOSURE**

22 FREE BLOCKS  
78 OCCUPIED BLOCKS

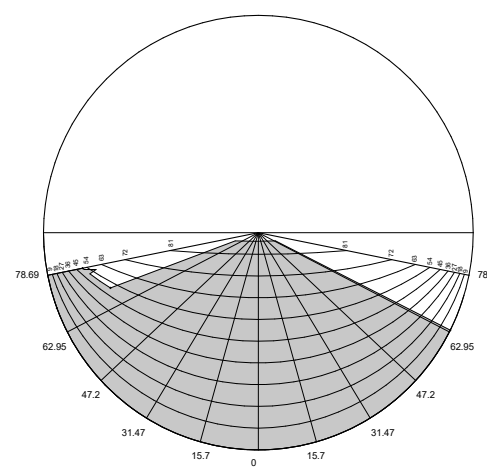
F | LARIMER ST. WALDRAM DIAGRAM  
SCALE: 1/2" = 1'-0"



**35.5% LIGHT EXPOSURE**

35.5 FREE BLOCKS  
64.5 OCCUPIED BLOCKS

G | 16TH ST. WALDRAM DIAGRAM  
SCALE: 1/2" = 1'-0"



**17% LIGHT EXPOSURE**

17 FREE BLOCKS  
83 OCCUPIED BLOCKS

H | LAWRENCE ST. WALDRAM DIAGRAM  
SCALE: 1/2" = 1'-0"



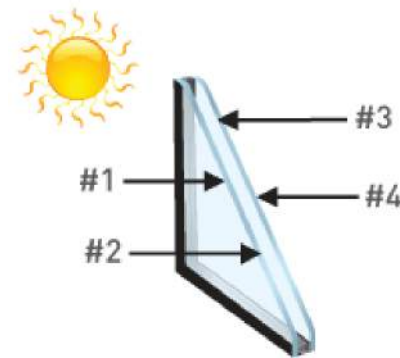


**1" (25mm) Insulating VNE1-53**

**PERFORMANCE DATA**

<b>Transmittance</b>	
Visible Light	49%
Solar Energy	18%
UV	2%
<b>Reflectance</b>	
Visible Light-Exterior	19%
Visible Light-Interior	21%
Solar Energy	36%
<b>NFRC U-Value</b>	
Winter	0.29 Btu/(hr x sqft x °F)
Summer	0.25 Btu/(hr x sqft x °F)
Shading Coefficient (SC)	0.26
Relative Heat Gain	56 Btu/(hr x sqft)
Solar Heat Gain Coefficient (SHGC)	0.23
LSG	2.13

**Makeup**



1/4" (6mm) clear VNE-53 #2  
 1/2" (13.2mm) space - air filled  
 1/4" (6mm) clear

Viracon's solar and optical performance data is center of glass data based on the National Fenestration Rating Council measurement standards, calculated using Lawrence Berkeley National Laboratory's (LBNL) WINDOW 7 software.

**GLAZING FOR LEVEL 2 UP**

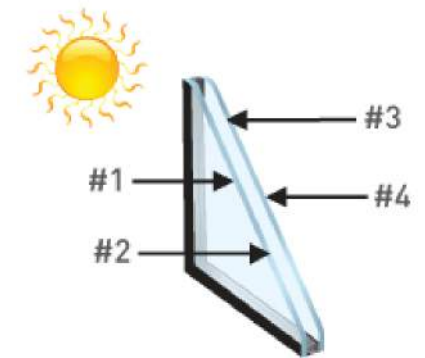


**1" (25mm) Insulating VE13-2M**

**PERFORMANCE DATA**

<b>Transmittance</b>	
Visible Light	73%
Solar Energy	37%
UV	13%
<b>Reflectance</b>	
Visible Light-Exterior	10%
Visible Light-Interior	12%
Solar Energy	42%
<b>NFRC U-Value</b>	
Winter	0.30 Btu/(hr x sqft x °F)
Summer	0.26 Btu/(hr x sqft x °F)
Shading Coefficient (SC)	0.45
Relative Heat Gain	93 Btu/(hr x sqft)
Solar Heat Gain Coefficient (SHGC)	0.39
LSG	1.87

**Makeup**



1/4" (6mm) Starphire VE-2M #2  
 1/2" (13.2mm) space - air filled  
 1/4" (6mm) Starphire

Viracon's solar and optical performance data is center of glass data based on the National Fenestration Rating Council measurement standards, calculated using Lawrence Berkeley National Laboratory's (LBNL) WINDOW 7 software.

**GLAZING FOR GROUND LEVEL**